

United States Department of the Interior
National Park Service

National Register of Historic Places Registration Form

This form is for use in nominating or requesting determinations for individual properties and districts. See instructions in National Register Bulletin, *How to Complete the National Register of Historic Places Registration Form*. If any item does not apply to the property being documented, enter "N/A" for "not applicable." For functions, architectural classification, materials, and areas of significance, enter only categories and subcategories from the instructions.

1. Name of Property

Historic name: Glebe Apartments

Other names/site number: Knightsbridge Apartments / VDHR #009-9731

Name of related multiple property listing: Garden Apartments, Apartment Houses and Apartment Complexes in Arlington County, Virginia: 1934-1954 (VDHR #000-8825)

(Enter "N/A" if property is not part of a multiple property listing)

2. Location

Street & number: 210-212 North Glebe Road

City or town: Arlington State: VA County: Arlington

Not For Publication: N/A Vicinity: N/A

3. State/Federal Agency Certification

As the designated authority under the National Historic Preservation Act, as amended,

I hereby certify that this X nomination ___ request for determination of eligibility meets the documentation standards for registering properties in the National Register of Historic Places and meets the procedural and professional requirements set forth in 36 CFR Part 60.

In my opinion, the property X meets ___ does not meet the National Register Criteria. I recommend that this property be considered significant at the following level(s) of significance:

___ national ___ statewide X local

Applicable National Register Criteria:

X A ___ B X C ___ D

<p>_____ Signature of certifying official/Title: <u>Virginia Department of Historic Resources</u> State or Federal agency/bureau or Tribal Government</p>	<p>_____ Date</p>
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<p>In my opinion, the property ___ meets ___ does not meet the National Register criteria.</p>	
<p>_____ Signature of commenting official: Title : agency/bureau</p>	<p>_____ Date State or Federal or Tribal Government</p>

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4. National Park Service Certification

I hereby certify that this property is:

- entered in the National Register
- determined eligible for the National Register
- determined not eligible for the National Register
- removed from the National Register
- other (explain:) _____

Signature of the Keeper

Date of Action

5. Classification

Ownership of Property

(Check as many boxes as apply.)

- Private:
- Public – Local
- Public – State
- Public – Federal

Category of Property

(Check only **one** box.)

- Building(s)
- District
- Site
- Structure
- Object

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Number of Resources within Property

(Do not include previously listed resources in the count)

Contributing	Noncontributing	
<u>2</u>	<u>0</u>	buildings
<u>0</u>	<u>0</u>	sites
<u>0</u>	<u>0</u>	structures
<u>0</u>	<u>0</u>	objects
<u>2</u>	<u>0</u>	Total

Number of contributing resources previously listed in the National Register 0

6. Function or Use

Historic Functions

(Enter categories from instructions.)

DOMESTIC/multiple dwelling

Current Functions

(Enter categories from instructions.)

DOMESTIC/multiple dwelling

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7. Description

Architectural Classification

(Enter categories from instructions.)

MIXED: Colonial Revival and Modern

Materials: (enter categories from instructions.)

Principal exterior materials of the property:

Foundation: BRICK

Walls: BRICK; CONCRETE

Roof: SYNTHETICS: rubber

Narrative Description

(Describe the historic and current physical appearance and condition of the property. Describe contributing and noncontributing resources if applicable. Begin with a **summary paragraph** that briefly describes the general characteristics of the property, such as its location, type, style, method of construction, setting, size, and significant features. Indicate whether the property has historic integrity.)

Summary Paragraph

Glebe Apartments in Arlington, Virginia, is tucked off N. Glebe Road between Cathedral Lane to the south and N. Pershing Drive to the north. This small complex was constructed in 1947 by Arlington builder and development company, M. Pomponio & Sons, notable as one of the most prolific building firms in Arlington in the mid-twentieth century. The garden apartment complex contains six red brick masonry sections that are joined together to form a total of two (2) buildings with the following street addresses: 210 N. Glebe and 212 N. Glebe Road. Typically, two dwelling units are located on each floor in each of the six sections. Designed by prolific Washington, D.C.-based architect George T. Santmyers (1889-1960), this multiple dwelling complex incorporates Santmyers' practice of mixing architectural styles and the modest expression of Modern design influences seen in a number of apartments and complexes constructed in Arlington between the 1930s to mid-1950s. Specifically, this small complex expresses the Colonial Revival-style through use of traditional red brick façades with orderly fenestration and pedimented door surrounds. The property's linked box-like buildings or rectangular forms with flat roofs, including the continuous lintel of soldier bricks at the third story, exemplifies the efficiency of and horizontal planes common in Modern design. Glebe Apartments is sited around a rectangular-shaped central garden

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or courtyard with connecting walkways and dedicated off-street parking, thereby being a garden apartment property and is listed as an example of such in the 2011 *Amendment to the Garden Apartments, Apartment Houses and Apartment Complexes in Arlington County, Virginia 1934-1954* Multiple Property Documentation Form (MPD). The design of the Glebe Apartments and its relationship to the surrounding landscape represents a distinctly mid-20th century idea of multi-residential living that was also a leading housing type and style heavily influenced and promoted by the Federal Housing Administration during the 1930s through the 1950s.

Narrative Description

Site

The Glebe Apartments parcel is oriented on a 45-degree angle. For ease of description, however, this nomination describes elevations in relation to true north. Thus, this application uses “north” for “northwest”; “south” for “southeast”; “east” for “northeast”; and “west” for “southwest.” Situated on the west side of N. Glebe Road, Glebe Apartments is more specifically located between Cathedral Lane (formerly N. College Lane) and the major thoroughfare of Arlington Boulevard (originally Lee Boulevard and now more commonly referred to as Route 50) to the south, with N. Pershing Drive (formerly Cathcart Road) to the north. The property’s parcel is shaped like a lowercase letter ‘b’ laying on its side (that is, a ‘b’ running east-west, rather than north-south). The apartment buildings are therefore constructed and tucked some 289 feet west of Glebe Road via a paved drive that provides parking spaces along its north and south sides for residents as one approaches the buildings. A paved sidewalk runs along the south side of the drive connecting to walkways that lead into the Glebe Apartments courtyard as well as around the north side of the apartments to the northwest corner of the parcel where a tot-lot is situated. To the south of the parcel is a seven-story commercial office building (1970) with associated paved parking. The western portion of the parcel abuts land under jurisdiction of St. Thomas Moore Cathedral to the south inclusive of the cathedral’s associated parochial school (1945), which consists of a large paved parking facility, a cathedral and two- and three-story masonry school buildings. The Glebe Apartments parcel is in an otherwise residential neighborhood and bound by the Buckingham Historic District (NRHP 1999) at the west, north and northeast. Buckingham is an expansive historic district with various sections built contemporaneous with Glebe Apartments. (It consists of 151 two- and three-story brick garden apartment buildings built between 1937 and 1953 in the Colonial Revival style.)

As a garden apartment complex, the Glebe Apartments buildings face inward towards the property’s landscaped rectangular-shaped garden or courtyard and are otherwise set within low-maintenance yet manicured lawns. The main courtyard entry is located at the northeast corner and is announced via a historic red brick pillared opening in a short red brick wall that spans between the two Glebe buildings. The courtyard features brick paving that continues from the entry diagonally through to the center of the garden. This area features a wood trellis, wooden benches (both of which are modern accoutrements) and a single towering mature tree. Planting beds of low-lying shrubs as well as a combination of some smaller deciduous and flowering trees are located

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along the outer edge of the brick walkway, as well as along the buildings. A concrete walkway connects to the brick paving and traverses the perimeter of the courtyard in a rectangular fashion, with short walkways leading up to the six building entries, which are accessed via concrete steps or a sloped ramp, lined with metal picket railings.

Historic aerials and 1980s site-plans indicate that although the courtyard has received some additional plantings, outdoor furniture and brick paving in its center, the courtyard's historic rectangular circulation pattern outlining the perimeter remains.

Exterior

Glebe Apartments contains six red brick masonry sections that are joined together to form a total of two (2) contributing buildings with the following street addresses: 210 N. Glebe Road to the south and 212 N. Glebe to the north.

As a multiple dwelling complex consisting of two buildings, both buildings are a primary resource. They are similar in massing, form, and materials and express a combination of traditional Colonial Revival style and Modern style elements. Each of 210 and 212 N. Glebe Road is comprised of two or four sections, joined together, respectively; all components have a flat roof behind flat parapet walls.

210 N. Glebe Road

Contributing

The contributing apartment building at 210 N. Glebe Road consists of four rectangular shaped sections joined together to form a U-shaped footprint. The primary – that is, the elongated – facades of each -- face inward towards the courtyard. Each component is three stories in height, with the exception of the westernmost, which features a basement, rather than a crawlspace like the others. Due to the slight and gently sloping grade change down from east to west, the basement is raised at the two westernmost bays.

210 N. Glebe Road's components span two or three bays wide at their short ends. They are all red brick masonry laid in a 5- and 6-course American bond and have flat membrane roofs behind flat parapets. The parapet of each extends from above the top of the third story, which is delineated by a continuous line of soldier bricks, emphasizing the horizontality of the building. A metal coping caps the parapet.

The two components fronting north toward the courtyard (the north elevation) span four bays each for a total of eight bays, but have the appearance at the façade as a singular component (aerial views of the roof show a clear demarcation between the two components). Fenestration is symmetrical, consisting of single 6/6 windows, 6/6 paired windows and larger bay windows flanked by 6/6 windows along the continuous façade. Window openings at all three floors have concrete sills. The end bays feature paired 6/6 windows with a singular entry located one bay from the end. The entry doors (non-historic single-light, metal replacements) feature a cast stone

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Colonial Revival style pedimented door surround. These door surrounds appear in historic as-built elevation drawings and are a character-defining feature of the building.

The two components of 210 N. Glebe Road that front east or west towards the courtyard span five bays each with an entry door centered on the facade. Fenestration consists of single 6/6 windows at the end bays alternating with paired openings. These courtyard-facing and therefore, primary elevations have thru-wall metal attic vents at the parapet level, evenly spaced and above window bays; the metal vents are painted red and therefore blend in with the adjacent masonry.

Non-primary elevations are those that do not face in towards the courtyard. The rear or south elevation of the 210 N. Glebe Road components span a total of sixteen bays. Fenestration is symmetrical and consists of single 6/6 windows at the two end bays, with a combination of paired windows or narrower 6/6 windows (associated with baths) in the remaining bays. Metal downspouts, painted white, are featured at regular intervals along this elevation. The west elevation of the east-facing component is also a non-primary or rear elevation; it spans nine bays with a combination of single and paired 6/6 window openings akin to those at the south elevation. Thru-wall attic vents like those on the primary façades are featured above seven of the bays; two downspouts are also installed. The east elevation of the west-facing component spans only seven bays. Although fenestration configurations consist of single openings, some of which are narrower (due to baths beyond), this elevation differs in that painted wood shutters are installed on the larger openings closest to the courtyard's brick entry piers. Wood shutters do not appear on historic as-built elevation drawings. Although their date of initial installation is unknown, they are likely a post-period of significance treatment, given their location on non-primary elevations. These limited extant shutters are indicated in records as having been installed during the property's 1984 renovation, replacing similar shutters. The north elevations of 210 N. Glebe's courtyard-facing components have fenestration of two individual and evenly-spaced window openings with 6/6 windows at each floor level. The western component has a raised basement area with access to the basement level laundry facilities located at the west end; this otherwise non-ornamented entry is however capped with a metal round arched canopy. Windows at the raised basement portion are narrow non-historic sliders.

212 N. Glebe Road

Contributing

The contributing apartment building at 212 N. Glebe Road consists of two rectangular shaped structures that are joined together to form a rectangular footprint with the primary – that is, the elongated -- facades of each fronting inward or south towards the courtyard. Each component is three stories in height, with a basement. Due to the slope of the gently sloping grade (down from east to west), the basement is raised at the two westernmost bays. The components span two bays wide at their short ends. Similar in appearance to 210 N. Glebe, they are red brick masonry laid in a 5 or 6 course common bond and have flat membrane roofs behind flat parapets. The parapet of each extends from above the top of the third story, which is delineated by a continuous line of solid bricks, emphasizing horizontality. A metal coping caps the parapet.

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The south elevation of each component spans five bays each for a total of ten bays, yet it has the appearance at the façade as a singular component. (Views from the roof show the delineation between the two components). Fenestration is symmetrical, consisting of single 6/6 windows, paired 6/6 windows and large bay windows flanked by 6/6 windows along the continuous façade. The end bays are also single 6/6 windows with singular entries three bays in from the ends and separated from the ends by paired 6/6 window openings. The entry doors (non-historic replacements) feature Colonial Revival style pedimented door surrounds like those at 210 N. Glebe Road. These pedimented entry surrounds appear in the historic elevations and are therefore a significant character-defining feature. Above these, at second and third floors, window openings hold single 6/6 windows. Window openings at all three floors have concrete sills. At the raised basement portion of this façade, a basement level unornamented entry door is located. Thru-wall metal vents are located at the parapet level, evenly spaced and above window bays; these are painted red and therefore blend in with the adjacent masonry. The rear or north elevation of 212 N. Glebe Road spans twelve bays. Fenestration and use of downspouts are akin to those found on the rear of 210 N. Glebe Road. This elevation however has two exterior red brick chimneys attached to the building near the center of the rear elevation. Additionally, basement level access to both tenant storage and mechanical rooms via steps down below grade is also provided between the two chimneys.

All windows on both buildings are modern aluminum double-hung 6/6 replacement windows with interior applied muntins. They were installed as part of the property's 1984 renovation. Basement level window openings are non-historic narrow sliders installed at that same time. Historic as-built elevation drawings, although not fully discernible due to the age and condition of the drawings, indicate the original window configuration may have consisted of multi-light casement windows. Such windows would have been metal and a marker of the property's Modern aesthetic. Replacement of original window sash however is common for this particular housing type, and as such does not detract from the overall historic character. The extant replacement windows and the limited extant non-historic wood shutters are easily reversible treatments. Exterior doors are typically metal doors with small glazed lights in the upper portion. They are modern replacements as well. Architectural drawings dating to the 1984 renovation indicate the extant thru-wall vents were also refinished at that time while the existing metal coping and downspouts were installed. No other exterior alterations are evident and the exteriors therefore have a high degree of historic integrity.

Interiors

The interiors of 210 N. Glebe Road and 212 N. Glebe Road are similar in design, materials, and layouts. Each of the six components that make up the two Glebe Apartments buildings holds a pedimented entry accessed from the courtyard as detailed above. Each entry provides access to six individual residential units. Typically, two dwelling units are located on each floor in each of the six sections. The exception is a single additional unit which is available in the basement level of 212 N. Glebe Road, bringing the total number of units to 37. The majority of units are two-bedroom, one-bath units. Six (6) one-bedroom units are also available. Two of the existing units were converted to accessible units in 1984, but do not meet today's accessible code standards.

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With the exception of the basement level unit exterior entry at 212 N. Glebe Road, which opens directly into the unit, the building entries provide access into a short, small foyer featuring a unit entry door to either side and a metal pan stair to the upper floor units at the center. At the stair landings on each of the second and third floors, a unit is located to either side. This circulation treatment, which eliminates apartment corridors, provides for an efficiency of design and a minimum of wasted space. Unit entry doors are solid flush metal doors. The first-floor entry landings feature ceramic tile flooring. Stairs have received rubber treads and upper landings have vinyl flooring, however, overall, these public areas feature a high degree of historic integrity. The entry and stair foyers have painted plaster walls and ceilings and also feature historic ceramic tile wainscoting in a pale-yellow color at the first-floor level up to the first stair landing.

Residential units were renovated in the 1980s, but changes were cosmetic and mainly limited to closet alterations and kitchen and bathroom updates. Floor finishes in living areas and bedrooms are typically historic hardwood, although some units have received 12" parquet as a replacement. All kitchens received vinyl tile flooring in the 1980s renovation and the two accessible (not to modern code) units also feature vinyl flooring throughout. All kitchen cabinetry and appliances date to the recent renovation. Bathtubs, toilets, and vanities are modern replacements, too, but some bathrooms retain historic ceramic tile wainscoting and/or ceramic tile flooring. Bathroom tiling appears to have been replaced on an as-needed basis only. All walls and ceilings are painted. Ceilings on the third floors have been furred down with gypsum board, as have all bathroom ceilings and closets in order to accommodate HVAC systems. Perimeter walls and most interior partition walls are of painted plaster. Mechanical closets and some modified partitions in the accessible units are painted gypsum board. Interior unit doors are a combination of historic and recent wood paneled doors, with some closets having louvered doors. The raised basement space in 210 N. Glebe Road provides shared laundry facilities as well as some maintenance rooms. The raised basement space in 212 N. Glebe Road provides a single residential unit, as well as additional maintenance and storage spaces.

With the exception of minor floor-plan alterations in the two accessible units for diameter clearances, and the installation of individual mechanical closets in all units, the historic interior building floor plans have been preserved and the interiors overall display a good degree of historic integrity. This is especially evident in the public entries which maintain historic circulation as well as historic materials such as tile wainscoting and flooring. As such, the buildings continue to be successful in providing maximum light and air for each apartment unit, while taking full-advantage of the pleasant views provided by the park-like setting of the property's courtyard and surrounding manicured lawn.

Last updated over 20 years ago, the complex today ranges in condition from good to fair, albeit suffering from some deferred maintenance, such as deficiencies in electrical and HVAC due to outdated systems. Additionally, the building is deficient in current accessibility requirements.

Integrity

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As required by the Multiple Property Documentation Form, *Garden Apartments, Apartment Houses and Apartment Complexes in Arlington County, Virginia: 1934-1954*, Glebe Apartments retains the seven aspects of integrity.

- It has not been moved from its original location and thus has integrity of **location**.
- It is a garden apartment complex that reflects the stylistic influences, as well as the popular building forms and materials evident in Arlington during the mid-1930s through the mid-1950s. In this instance, influences of both the traditional Colonial Revival style and the emerging Modern style are featured. Colonial Revival style influences include the red brick veneer exterior walls laid in American bond, orderly fenestration and the cast stone pedimented door entry surrounds. The efficiencies of Modern design are evidenced through the rectangular forms, flat roofs and emphasis on horizontality through the continuous soldier course lintels. Although original windows may have been metal casements further evidencing a Modern aesthetic, replacement of original window sash and entry doors, however, is common for this housing type and does not detract from the overall historic character. The fenestration pattern, concrete sills, lintels and opening sizes are intact. The interior floor plans of the buildings, both the public areas and unit layouts are also largely unaltered with modifications limited to system upgrades and/or kitchen and baths fixtures updates. The complex thus has integrity of **design, materials** and **workmanship**.
- The complex continues to display evidence of original landscaping and its exterior circulation features through the presence of the rectangular courtyard, the manicured lawn upon which it rests, the associated pedestrian walkways to entries, as well as the public sidewalks and the property's dedicated off-street parking area. The complex exhibits integrity of **setting**.
- By retaining the original design, majority of materials, workmanship and setting and remaining a multi-family residential housing complex, Glebe Apartments retains integrity of **feeling** and **association**.

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8. Statement of Significance

Applicable National Register Criteria

(Mark "x" in one or more boxes for the criteria qualifying the property for National Register listing.)

- A. Property is associated with events that have made a significant contribution to the broad patterns of our history.
- B. Property is associated with the lives of persons significant in our past.
- C. Property embodies the distinctive characteristics of a type, period, or method of construction or represents the work of a master, or possesses high artistic values, or represents a significant and distinguishable entity whose components lack individual distinction.
- D. Property has yielded, or is likely to yield, information important in prehistory or history.

Criteria Considerations

(Mark "x" in all the boxes that apply.)

- A. Owned by a religious institution or used for religious purposes
- B. Removed from its original location
- C. A birthplace or grave
- D. A cemetery
- E. A reconstructed building, object, or structure
- F. A commemorative property
- G. Less than 50 years old or achieving significance within the past 50 years

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Areas of Significance

(Enter categories from instructions.)

COMMUNITY PLANNING AND DEVELOPMENT
ARCHITECTURE

Period of Significance

1947-1954

Significant Dates

1947

Significant Person

(Complete only if Criterion B is marked above.)

N/A

Cultural Affiliation

N/A

Architect/Builder

M. Pomponio & Sons, Inc. (builder)

Santmyers, George T. (architect)

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Statement of Significance Summary Paragraph (Provide a summary paragraph that includes level of significance, applicable criteria, justification for the period of significance, and any applicable criteria considerations.)

Glebe Apartments is an eligible resource for listing in the National Register of Historic Places under --and as explicitly noted in-- the Multiple Property Documentation Form (MPD) *Garden Apartments, Apartment Houses and Apartment Complexes in Arlington County, Virginia: 1934-1954*. The complex is a surviving example of a multi-family garden apartment complex constructed between the years 1934 and 1954. The complex is significant at the local level under Criterion A, Community Planning and Development and Criterion C, Architecture. The complex is an indicator of several important patterns of events (Criterion A) and architectural ideals (Criterion C). Under Criterion A, it reflects the immediate need for multi-family, moderately-priced housing projects prompted by the growth of the federal government under the New Deal and subsequent expansions in preparation for World War II and in the immediate postwar era with the return of thousands of veterans. As summarized in the MPD, while modest multi-family examples existed prior to 1934, the garden apartments of Arlington County represent the involvement, support, and encouragement of the federal government in housing reform from 1934 through 1954. The period of significance for Glebe Apartments begins in 1947 and continues through 1954. Under the direction and influence of the Federal Housing Administration (FHA), garden apartment buildings of Arlington County, including Glebe Apartments, incorporated the standards of forward-thinking planners and housing reformers and sought to bring the benefits of modern, efficient interior floor plans and attractively planned residential communities to people of moderate means. Notably, the garden apartments were designed specifically for workers and families of moderate means, rather than wealthy upper-class residents. Cheaper suburban land permitted economical, lower density development of multi-family projects, thus making low-rise and garden apartments an attractive option. In the Washington metropolitan area, an additional spur to apartment construction with the area's rapidly increasing population, seemed to favor Arlington County. Under Criterion C, Glebe Apartments is eligible in the area of Architecture because it manifests many of the popular and innovative building practices of the period as influenced by these FHA standards, exhibiting traditional Colonial Revival style through use of broken pediment entry surrounds and American bonded red brick facades and the Modern aesthetic modestly through form, an exterior emphasis on horizontality and efficient floor-plans. It is also an example of a known Arlington commission designed by master architect George T. Santmyers, considered one of the most prolific within and of the immediate surrounding area during this period.

Narrative Statement of Significance (Provide at least **one** paragraph for each area of significance.)

Historical Background

Federal Housing Administration (FHA)

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The MPD describes that the era of apartment construction in Arlington County opened with the groundbreaking for the Colonial Village garden-apartment complex in 1936, the first project in the nation insured by the FHA under Section 207. Its well-designed and well-built, two-story buildings, which capitalized on the Virginian population's enthusiasm for the Colonial Revival style, attracted 10,000 applicants for the first 276 units—an indication of the demand for moderately priced quality rental housing in the Washington, D.C., area. In 1938, when the FHA's housing act amendment made allowances for for-profit developers, as well as for assistance with the insuring of smaller rental projects and a more simplified application process, apartment construction in Arlington County accelerated rapidly. In the two years prior to enactment of the 1938 amendments, just four permits were issued for apartments in Arlington County. Following adoption of the amendments, four apartment building permits were issued in 1938, ten were issued in 1939, and 24 were issued in 1940.

The ramp-up for the war effort then resulted in construction of forty-three complexes and eighteen apartment buildings in Arlington County between 1940 and 1945. The conclusion of World War II brought victory and peace to the United States and her allies, but the housing situation at home continued to remain a priority for the government and local officials across the nation. The FHA and private developers turned their attention from fulfilling the needs of wartime workers to the needs of thousands of returning veterans. Between 1946 and 1954, more than eighty-one (81) apartment buildings and complexes were constructed in Arlington County.

The FHA regulations were so successful in the rental housing developments throughout Arlington County that builders often followed the government's lead on smaller, non-FHA-insured projects. The implementation of these regulations can be seen on various smaller projects throughout Arlington County that had not been developed with direct support from the FHA's Large-Scale Housing Division. These individual apartments were primarily constructed along major thoroughfares or in established neighborhoods. Although these buildings did not have the immediate impact some of the large complexes did on the housing shortage in the County, they were successful in providing economical housing with maximum light and air for each apartment unit, while taking full-advantage of the pleasant views provided by the park-like immediate settings. Glebe Apartments is one such example.

M. Pomponio & Sons, Inc.

The local Pomponio family capitalized on this wartime and postwar era construction boom, especially relative to smaller scale projects. In 1944, Louis Pomponio acquired the existing Glebe Apartments parcel from longtime owner and widow, Sylvia May Forman. In 1947, Louis' brother, Arthur, under the auspices of "Pomponio & Sons" (aka M. Pomponio & Sons, Inc.) applied for building permit numbers 20541 and 20542 for the construction of 212 and 210 N. Glebe Road, respectively, known collectively at the time as Glebe Apartments.

M. Pomponio & Sons, Inc., was one of the most prolific building firms in Arlington County in the mid-twentieth century. The company, which developed, built, and sold houses, was initially founded by Michael Pomponio in New Jersey. Pomponio was born in Potenza, Italy, immigrated

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to New York City and then settled in South Plainfield, New Jersey. By 1944, he had relocated to Arlington County where he worked with his sons to create a real estate and building firm responsible for developing single-and multi-family housing throughout the county. With the death of Michael Pomponio in 1948, the firm's name was changed to Pomponio Realty, Inc. Arthur Rocco Pomponio, the eldest son, served as president of the firm going forward, which by that time also offered insurance facilities. Between 1947 and 1950, the firm constructed and oversaw the sale of more than fifty of the extant California-type single-family houses constructed in the Arlington neighborhoods of Leeway-Overlee and Glencarlyn.

George T. Santmyers (1889-1960)

Glebe Apartments was designed by master architect George T. Santmyers and evidences the unification of elements of both the Colonial Revival and Modern designs. Santmyers is considered among the most prolific architects in the history of neighboring Washington, D.C., designing over 400 buildings, including banks, public garages, private residences, and apartment buildings in that city, during a career spanning forty years.

Born in Front Royal, Virginia, he moved to Washington, D.C. in 1897 and spent most of his adolescence in the capital. He undertook several apprenticeships in the offices of prominent local architects and by his early twenties, Santmyers opened his own architectural firm, which he oversaw until his death at 72 in 1960. He is considered one of the District's most important architects of the twentieth century and is celebrated for his contribution to apartment building architecture in the surrounding metropolitan area of the nation's capital. Having practiced for 50 years, his work ranges from modest row houses to grand apartment buildings, from Colonial Revival to Modern in style. He worked with a number of developers in the region, including with M. Pomponio & Sons, Inc. It is unknown whether Santmyers' collaboration with Pomponio & Sons was limited to the Glebe Apartments property, or if other Arlington commissions resulted. In private solo practice beginning in 1914, after World War II, Santmyers formerly partnered with James T. Thomen (dates unknown) but maintained the "George T. Santmyers Architect" firm name. Santmyers' incredibly large number of commissions all contained notable designs and efficient plans. Most of his early residential and apartment buildings were constructed in Northwest Washington DC, but by the 1950s, his buildings could be found in Northeast and Southeast quadrants of the city, and as evidenced by Glebe Apartments, in neighboring Arlington County as well. His early buildings were typically Colonial Revival, based on architectural elements associated with the Georgian and Federal periods. In the 1930s, however, Santmyers began to add elements of Art Deco and Modern styles into his building designs, while still using some classical elements and materials as seen in the 1947 design of Glebe Apartments.

Application of the MPDF

Although more known for the construction of single-family homes, M. Pomponio & Sons., Inc., under Arthur Pomponio's direction, did construct multi-family housing properties. These include Greenbrier Apartments (1949) at 841-871 S. Greenbrier Street, as well as Donna Lee Garden

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Apartments in Falls Church. Although the firm utilized FHA-backed loans for the construction of the Greenbrier, it is undetermined if such was utilized for Glebe Apartments.

Yet, the FHA's architectural ideals were at minimum held in the firm's planning and Santmyers' design of the small-scale Glebe Apartments project. According to the MPD, this fact furthers the application of Criterion A for the complex, while also demonstrating the application of National Register Criterion C. Criterion C is applicable because the property displays both the key aspects as well as the secondary physical characteristics of Arlington County's multi-family apartment buildings from 1934 to 1954. Glebe Apartments specifically unites elements of both the Colonial Revival and Modern styles. It features traditional Colonial Revival style through use of broken pediment entry surrounds and red brick veneer facades in an American bond. The Modern aesthetic prevails through the rectangular building forms, flat roofs and continuous soldier course lintels, providing a focus on horizontality. The small multiple dwelling complex manifests many of the popular and innovative building practices of the period as influenced by FHA design standards:

- Glebe is comprised of low-rise buildings in a suburban area that was residential (neighbored by the expansive Buckingham complex to the west, north and northeast), but also within proximity to the rapid transit networks or thoroughfares N. Glebe Road at the east and Arlington Boulevard to the south.
- The buildings exhibit the FHA ideals of efficient floor plan design with a minimum amount of wasted space, as well as sufficient natural lighting and ventilation. More specifically, apartment corridors have been fully eliminated in these buildings; entry foyers and stair landings provide immediate access to individual units.
- Lastly, the buildings are placed within a courtyard setting that includes landscaped green space, pedestrian walkways, and a dedicated off-street parking area.

Glebe Apartments furthermore meets the registration criteria for the Garden Apartment Complex subtype outlined in the MPD. Glebe Apartments is specifically listed as a resource in the *2011 Amendment to the Multiple Property Documentation Form* inventory list. As per the garden apartment subtype outlined in the MPD:

1. Glebe Apartments is composed of individual buildings forming a group of at least three buildings designed and constructed specifically to function as a multiple dwelling. In this case, a total of six sections, each with a dedicated entry, functions as a multiple dwelling.
2. The small buildings of Glebe were designed to contain at least four self-sufficient dwelling units. Each of the six multiple-dwelling entries contains six self-sufficient dwelling units.
3. Each building is at least two and no more than three stories high and has a single main public entrance. The components of Glebe are three stories in height, and each has a single, dedicated public entrance.
4. The buildings do not have an elevator. Vertical circulation is provided by a shared metal pan stairwell.
5. The group is designed and sited to relate to the surrounding landscape, in this instance, the rectangular courtyard in the center of the site.

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6. Additionally, the property was constructed in Arlington County between 1934 and 1954 and designed to provide moderate-income housing for the postwar workers and veterans flooding into the metropolitan Washington, D.C. area at the war's conclusion. The severe housing shortage in this area spurred the need for adequate rental units. Dating to 1947, the property also represents a leading housing type and style that was promoted by the Federal Housing Administration during the 1930s through the 1950s.
7. More specifically, Glebe Apartments meets the following registration design requirements as per the MPD:
 - a. Original exterior masonry walls are intact and continue to feature the historic red brick American bond.
 - b. Windows have been replaced, which is typical for this housing type; the historic fenestration pattern, sill, lintel, and opening sizes, however, remain intact.
 - c. Interior floor-plans are substantially unaltered.
 - d. Based on historic aerial photographs, the historic roof forms are intact.
 - e. Based on historic aerial photographs, the historic landscape features including walkways, driveway, and most significantly, the rectangular courtyard between the two buildings remains unimpaired.

The garden apartment design, which Glebe Apartments demonstrates, is significant for its role in providing a new type of housing for residents within Arlington County. The design of the garden apartment complex and its relationship to the surrounding landscape represented a distinctly mid-20th century idea of multi-residential living. The small mass, low height, and moderate density of each building within the Glebe complex set within a landscaped environment separated them from more urban forms of the property type. Integrity is present in the original boundaries and multi-family use. For the reasons outlined above, and as per the MPD, the property is eligible for the NRHP under Criteria A and C.

Post-1954

Glebe Apartments (now Knightsbridge Apartments) remained in the Pomponio family and related family subsidiaries until 1968, after which it changed hands multiple times. In 1982, the property was acquired by Wesley Housing Development Corp. (Wesley), an organization that specializes in the development, operation, and preservation of quality affordable housing communities for low- and moderate-income families and individuals. The property remains under Wesley ownership today. In 1984, the property was renovated to current condition. As noted in the physical description, despite the 1984 renovation, few substantive changes have occurred to the buildings and the property continues to reflect a high degree of historic character at both the exterior and interior.

Today, Wesley Housing Development Corp. intends to rehabilitate the property to the *Secretary of the Interiors' Standards* for continued affordable housing. Utilizing state and federal historic tax incentives, the owner shall be able to remedy deferred maintenance, replace outdated HVAC systems and meet modern accessibility requirements. This will ensure the FHA ideals of providing

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persons of moderate means with well-designed and efficient, yet affordable housing in an attractive suburban setting endures.

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9. Major Bibliographical References

Bibliography (Cite the books, articles, and other sources used in preparing this form.)

Arlington County Department of Real Estate Assessments

Arlington County Historical House Cards

Arlington County Recorder's Office

Arlington Sun

The DC Architects Directory, "George. T. Santmyers," available online at <https://planning.dc.gov/publication/dc-architects-directory>.

Historic Aerials, 1949, 1951, 1959, 1963

George T. Santmyers, Architect, "Glebe Apartments," architectural drawings, dated 26 February 1947, available in Wesley Housing Development Corp. files, Alexandria, Virginia.

Grimm & Parker, Architects, "Knightsbridge Apartments Rehabilitation," architectural drawings, dated 12 October 1982, available in Wesley Housing Development Corp. files, Alexandria, Virginia.

National Register of Historic Places Multiple Property Documentation Form – Apartment Bungalow and California-Type Houses of Arlington County. Prepared by EHT Tracerics, listed 2012.

National Register of Historic Places Multiple Property Documentation Form – Apartment Buildings in Washington, D.C. 1880-1945. Prepared by EHT Tracerics, listed 1994.

National Register of Historic Places Multiple Property Documentation Form – Garden Apartments, Apartment Houses and Apartment Complexes in Arlington County, Virginia 1934-1954 (2011 Amendment). Prepared by EHT Tracerics, listed 2012.

Pomponio v. Commissioner of Internal Revenue, 33 T.C. 1072, 1076 (T.C. 1960)

Sanborn Fire Insurances Maps, 1936, 1951, 1959, 1963

Wesley Housing & Development Corporation files, Alexandria, Virginia

Previous documentation on file (NPS):

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- preliminary determination of individual listing (36 CFR 67) has been requested
 previously listed in the National Register
 previously determined eligible by the National Register
 designated a National Historic Landmark
 recorded by Historic American Buildings Survey # _____
 recorded by Historic American Engineering Record # _____
 recorded by Historic American Landscape Survey # _____

Primary location of additional data:

- State Historic Preservation Office
 Other State agency
 Federal agency
 Local government
 University
 Other
Name of repository: Virginia Department of Historic Resources, Richmond, Virginia

Historic Resources Survey Number (if assigned): DHR #000-9731

10. Geographical Data

Acreage of Property 1.26

Use either the UTM system or latitude/longitude coordinates

Latitude/Longitude Coordinates

Datum if other than WGS84: _____
(enter coordinates to 6 decimal places)

- | | |
|-------------------------|------------------------|
| 1. Latitude: 38.871970° | Longitude: -77.105041° |
| 2. Latitude: 38.872847° | Longitude: -77.103930° |
| 3. Latitude: 38.872708° | Longitude: -77.103773° |
| 4. Latitude: 38.872183° | Longitude: -77.104352° |
| 5. Latitude: 38.871988° | Longitude: -77.104111° |
| 6. Latitude: 38.871583° | Longitude: -77.104594° |

Or

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UTM References

Datum (indicated on USGS map):

NAD 1927 or NAD 1983

- | | | |
|----------|-----------|-----------|
| 1. Zone: | Easting: | Northing: |
| 2. Zone: | Easting: | Northing: |
| 3. Zone: | Easting: | Northing: |
| 4. Zone: | Easting : | Northing: |

Verbal Boundary Description (Describe the boundaries of the property.)

The property referred to in this nomination is described in the land records of Arlington County, Virginia, as follows: CATHCART TRACT 54835 SQ FT. The true and correct historic boundary is shown on the attached Location Map.

Boundary Justification (Explain why the boundaries were selected.)

The boundaries for the property include the original 1.26 acre tract purchased in 1944 for the development of the Glebe Apartments complex. These boundaries are the original boundaries of the property and include the residential units, landscaped areas, and off-street parking area associated with the development as designed and constructed by Pomponio & Sons (M. Pomponio & Sons, Inc.) in 1947. Thus the historic boundary includes the property's historic setting as well as all known historic resources.

11. Form Prepared By

name/title: Jennifer F. Hembree, Director
organization: MacRostie Historic Advisors, LLC
street & number: 1400 16th St. NW, Suite 420
city or town: Washington state: D.C. zip code: 20036
e-mail: jhembree@mac-ha.com
telephone: (408) 490-2069
date : July 11, 2020

Additional Documentation

Submit the following items with the completed form:

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- **Maps:** A **USGS map** or equivalent (7.5 or 15 minute series) indicating the property's location.
- **Sketch map** for historic districts and properties having large acreage or numerous resources. Key all photographs to this map.
- **Additional items:** (Check with the SHPO, TPO, or FPO for any additional items.)

Photographs

Submit clear and descriptive photographs. The size of each image must be 1600x1200 pixels (minimum), 3000x2000 preferred, at 300 ppi (pixels per inch) or larger. Key all photographs to the sketch map. Each photograph must be numbered and that number must correspond to the photograph number on the photo log. For simplicity, the name of the photographer, photo date, etc. may be listed once on the photograph log and doesn't need to be labeled on every photograph.

Photo Log

Name of Property: Glebe Apartments (Knightsbridge Apartments)

City or Vicinity: Arlington

County: Arlington State: Virginia

Photographer: Jennifer F. Hembree

Date Photographed: May 2019

Description of Photograph(s) and number, include description of view indicating direction of camera:

1 of 20. 212 N. Glebe Road, south elevation, view west from courtyard entry.

2 of 20. Colonial Revival-style pedimented door surround, typical of entries.

3 of 20. 210 N. Glebe Road, north courtyard elevation, view southeast across courtyard.

4 of 20. 210 N. Glebe Road, north courtyard elevation, view southwest across courtyard.

5 of 20. 210 N. Glebe Road, east courtyard elevation (lt) and north courtyard elevation (rt), view southeast across courtyard.

6 of 20. 210 N. Glebe Road (lt) and 212 N. Glebe Road (rt), east elevations, view west from dedicated off-street parking area.

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- 7 of 20. Brick entry piers at courtyard, view southwest; 210 N. Glebe Road (lt) and 212 N. Glebe Road (rt).
- 8 of 20. 210 N. Glebe Road, east elevation (lt and rt), south elevation (center, view northwest).
- 9 of 20. 210 N. Glebe Road, west elevation, view northeast.
- 10 of 20. 210 N. Glebe Road, west elevation (lt) and south elevation (rt), view east.
- 11 of 20. 212 N. Glebe Road, north elevation with chimneys, view east.
- 12 of 20. 210 N. Glebe Road (lt) and 212 N. Glebe Road (rt), east elevations, longview west from dedicated off-street parking area.
- 13 of 20. Street view west from N. Glebe Road. Dedicated parking area seen at right with 210 N. Glebe's east elevation in background, left.
- 14 of 20. Entry foyer featuring metal stairwell, historic ceramic tile flooring and ceramic tile wainscoting. Typical of both buildings. View from second floor landing down to first floor entry foyer.
- 15 of 20. First floor interstitial stair landing showing historic ceramic tile wainscoting. Typical of both buildings.
- 16 of 20. Unit living room featuring historic wood flooring, typical.
- 17 of 20. Unit living room featuring historic wood flooring, typical.
- 18 of 20. Unit bedroom featuring historic wood flooring, typical.
- 19 of 20. Unit bathroom, typical.
- 20 of 20. Unit kitchen, typical.

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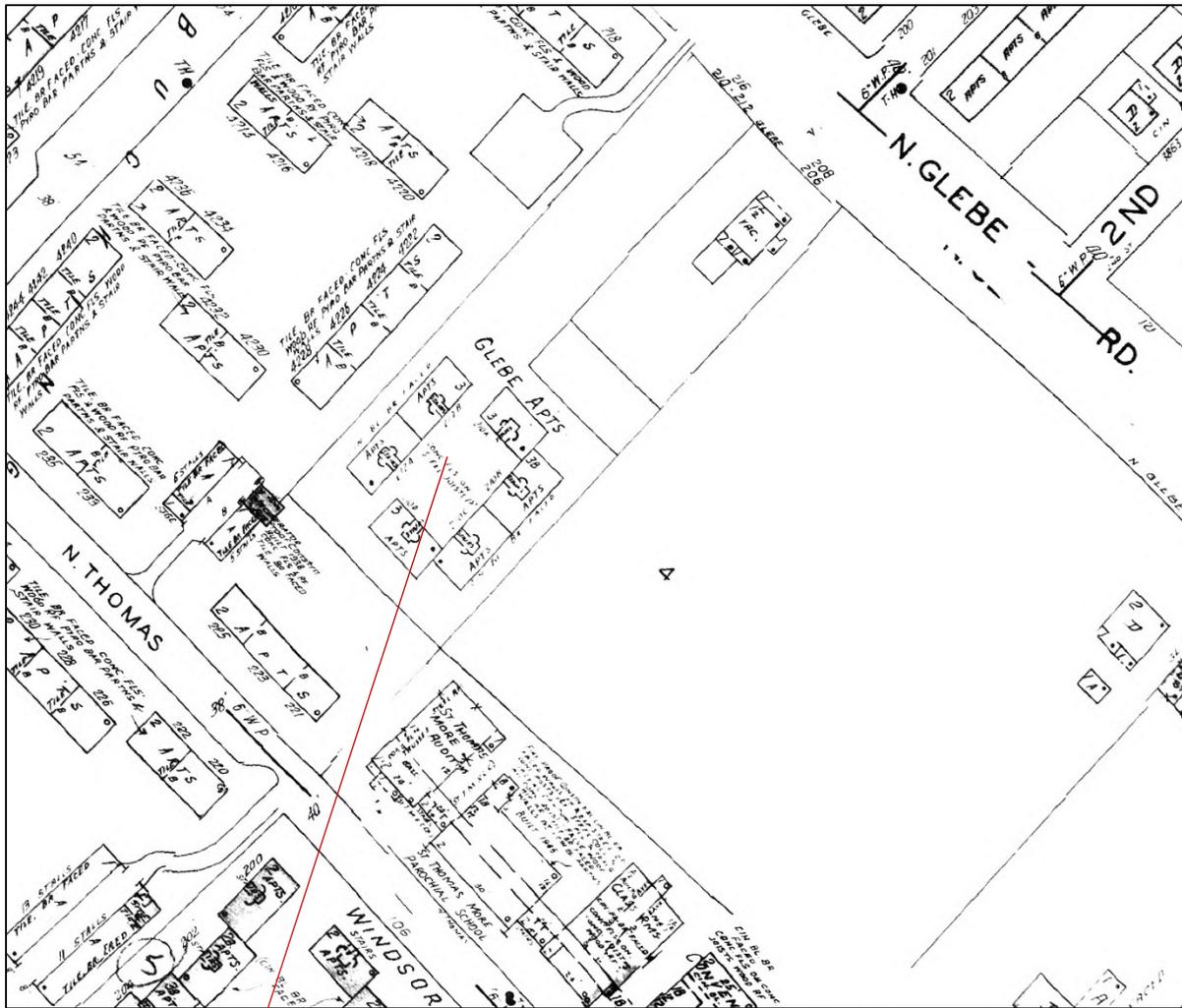


Fig. 2: Historic Map /
Sanborn Map, Arlington County, Vol 2 Sheet 229, 1959
red line indicates Glebe Apartments (now Knightsbridge Apartments)

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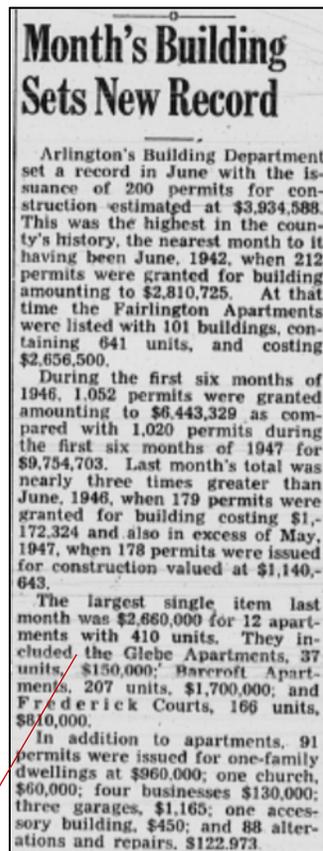
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Fig. 3: Historic Aerial, 1951
red line indicates Glebe Apartments, including courtyard with paved walkways and dedicated off-street parking area

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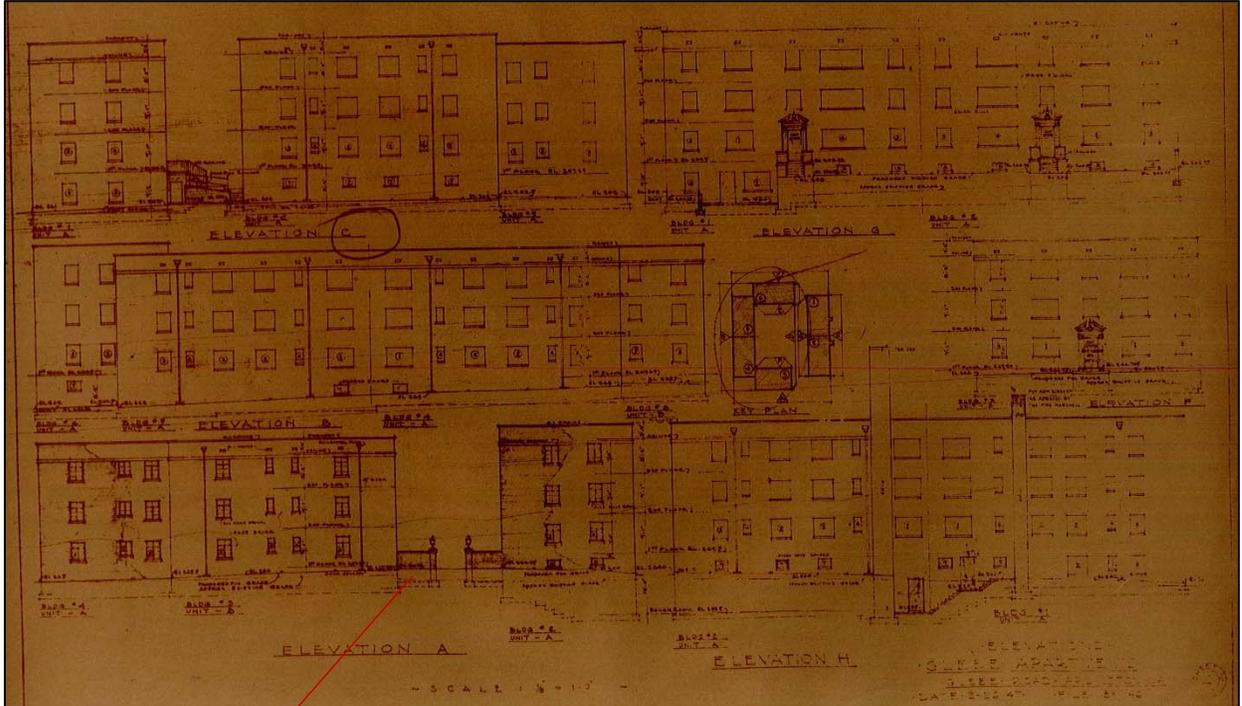


**Fig. 4: Historic News article /
Arlington Daily Sun, 11 July 1947**

red line references construction of Knightsbridge Apartments (formerly Glebe Apartments)

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**Fig. 5: Historic Drawing, Exterior Elevations
"Glebe Apartments," dated February 26, 1947**

red line indicates elevation of brick entry piers at courtyard

(credit: George T. Santmyers Architect, 1947 as-built drawings available in Wesley Housing Development Corp. files, Alexandria, Virginia)

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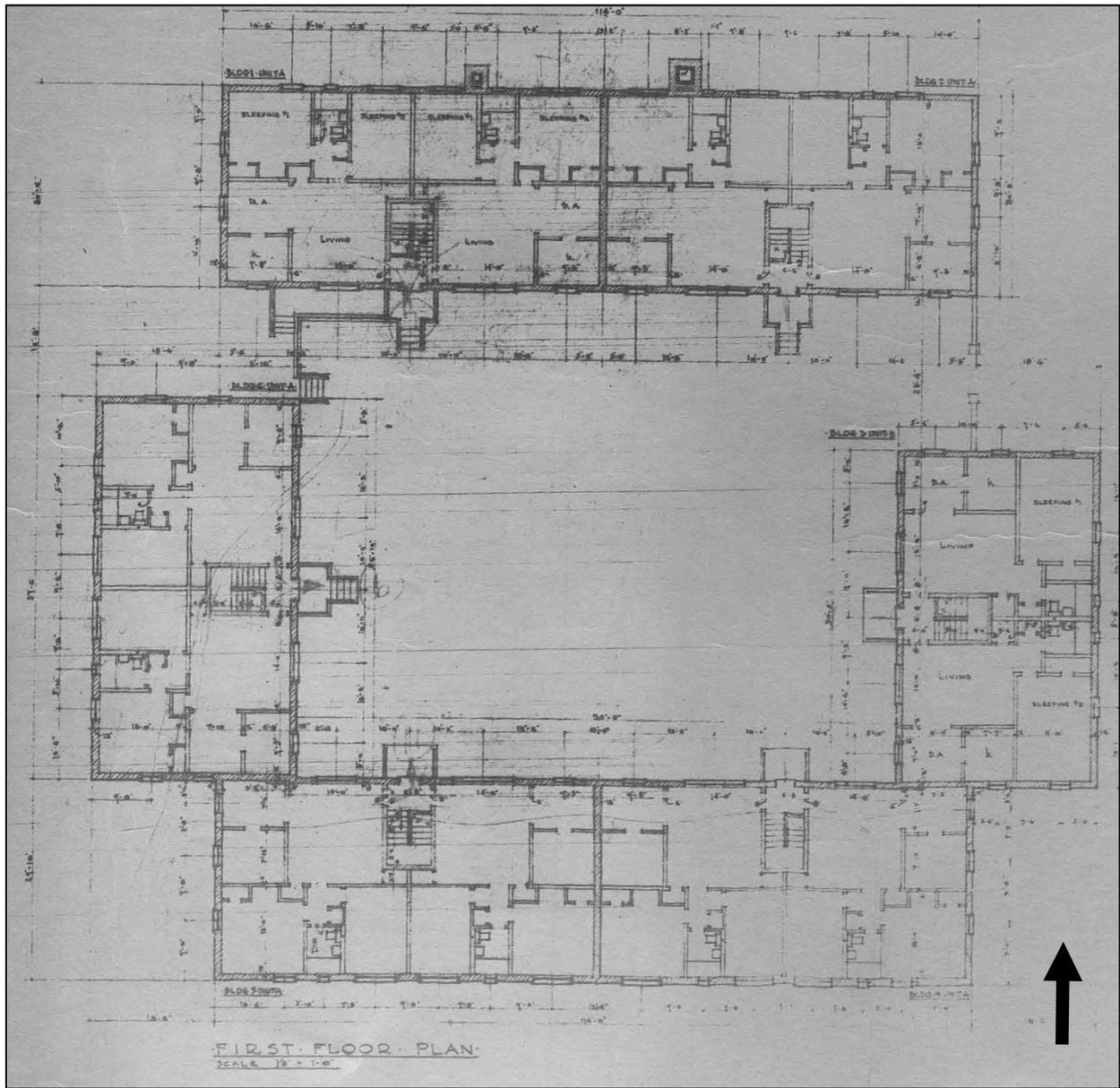


Fig. 6: Historic Interior Floor Plan, 1st Floor

(credit: George T. Santmyers Architect, 1947 as-built drawings available in Wesley Housing Development Corp. files, Alexandria, Virginia)

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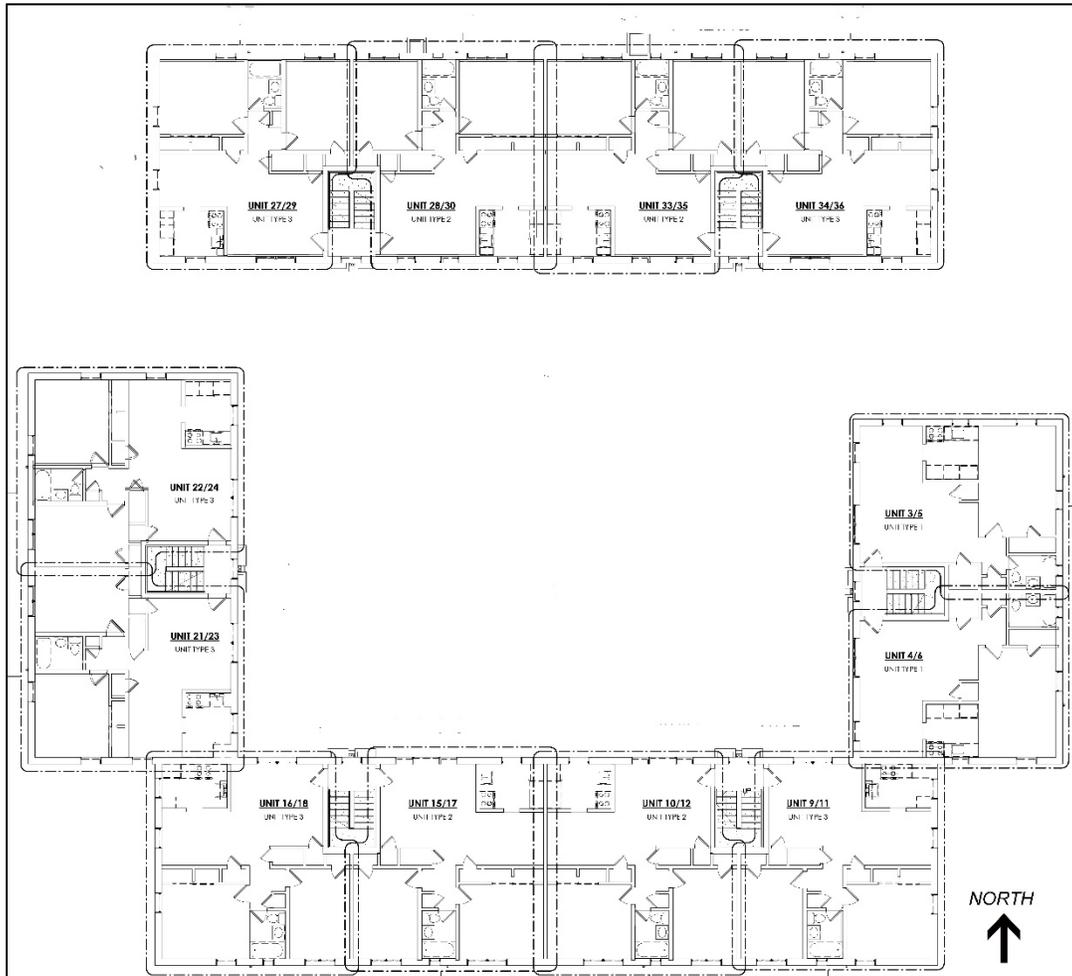


Fig. 7: Representative Interior Floor Plan, Current showing that historic floor-plans are largely intact
(credit: Zavos Architecture & Design, 2019)

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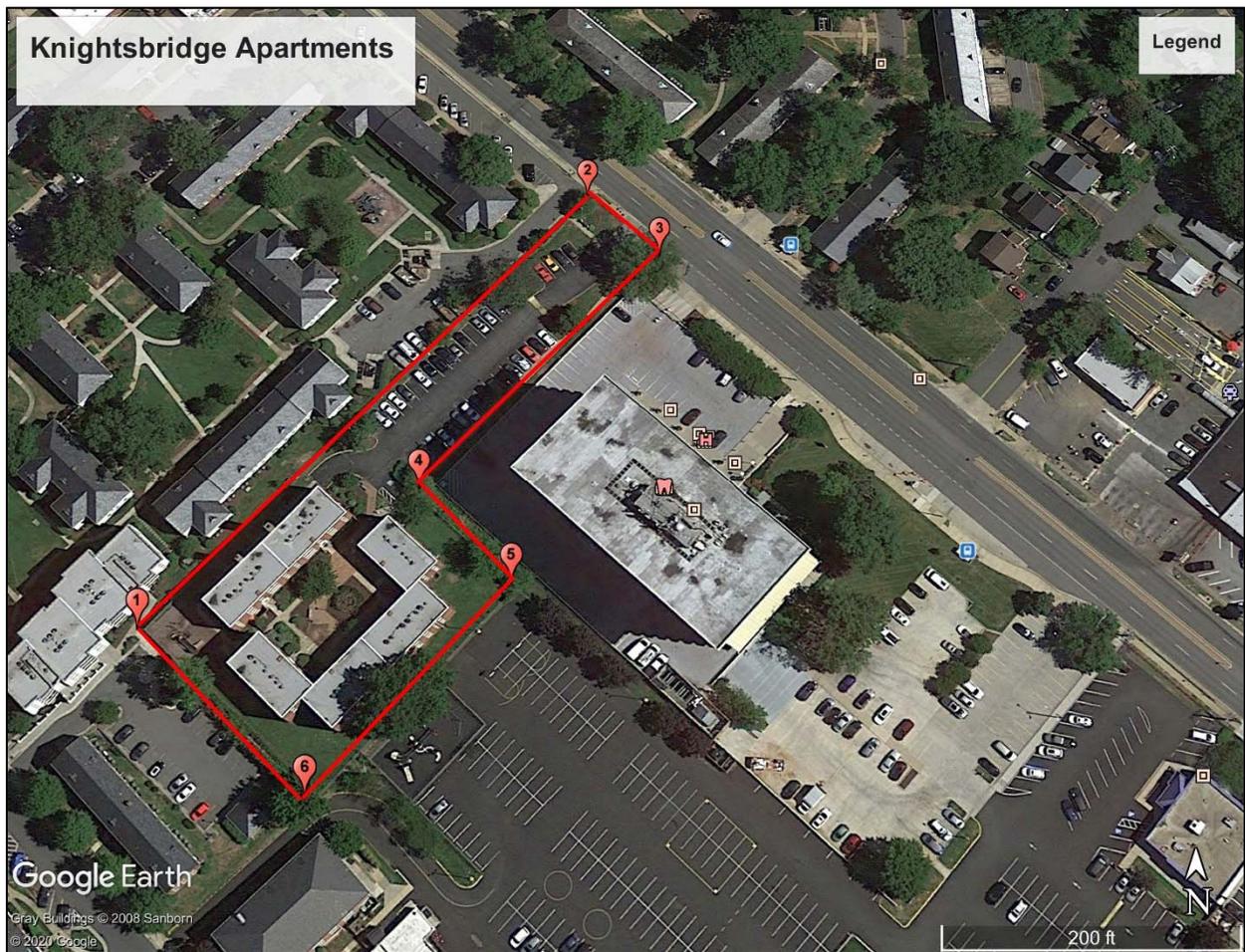


Fig. 1: Locational Map/Aerial Photo, Google Earth, 2020

1. Latitude: 38.871970°; Longitude: -77.105041°
2. Latitude: 38.872847°; Longitude: -77.103930°
3. Latitude: 38.872708°; Longitude: -77.103773°
4. Latitude: 38.872183°; Longitude: -77.104352°
5. Latitude: 38.871988°; Longitude: -77.104111°
6. Latitude: 38.871583°; Longitude: -77.104594°

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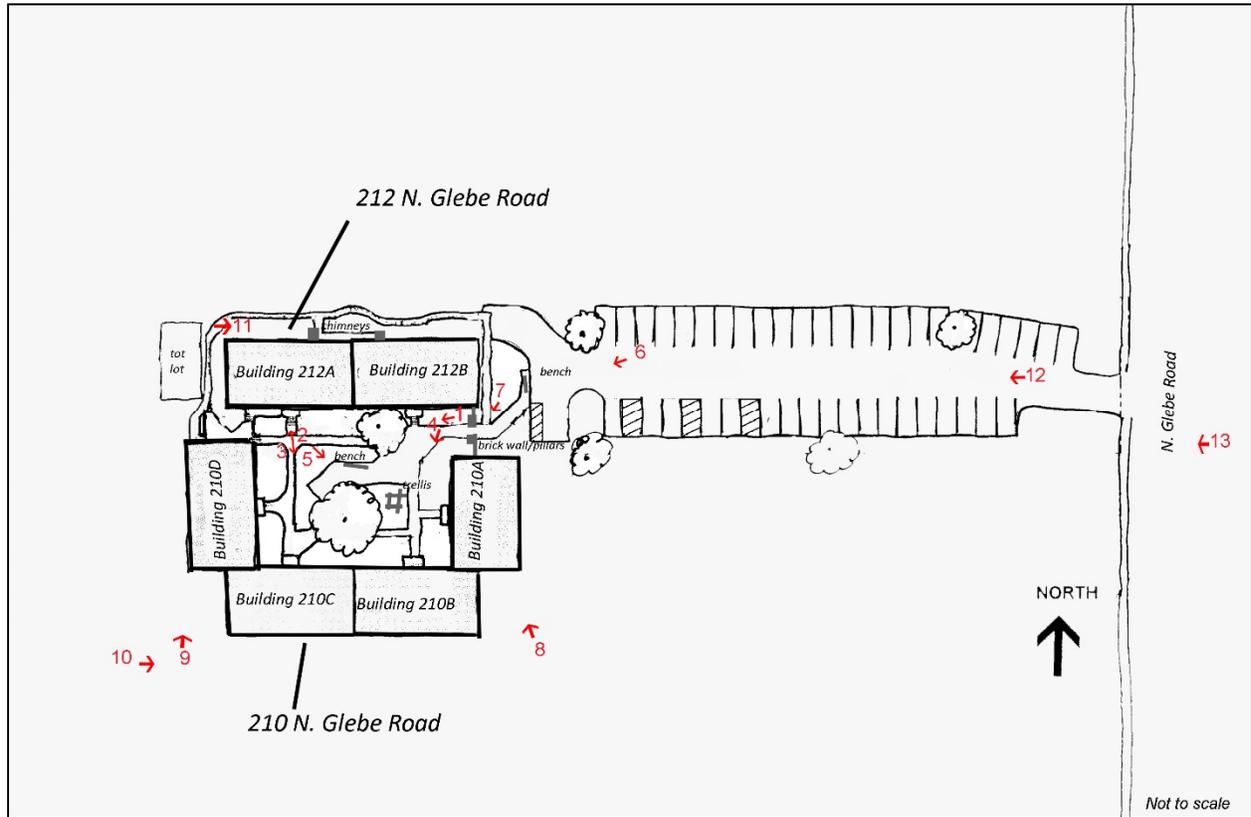


Fig. 8: Sketch Map with exterior photos keyed

Paperwork Reduction Act Statement: This information is being collected for applications to the National Register of Historic Places to nominate properties for listing or determine eligibility for listing, to list properties, and to amend existing listings. Response to this request is required to obtain a benefit in accordance with the National Historic Preservation Act, as amended (16 U.S.C.460 et seq.).

Estimated Burden Statement: Public reporting burden for this form is estimated to average 100 hours per response including time for reviewing instructions, gathering and maintaining data, and completing and reviewing the form. Direct comments regarding this burden estimate or any aspect of this form to the Office of Planning and Performance Management, U.S. Dept. of the Interior, 1849 C. Street, NW, Washington, DC.